

DA PLANS

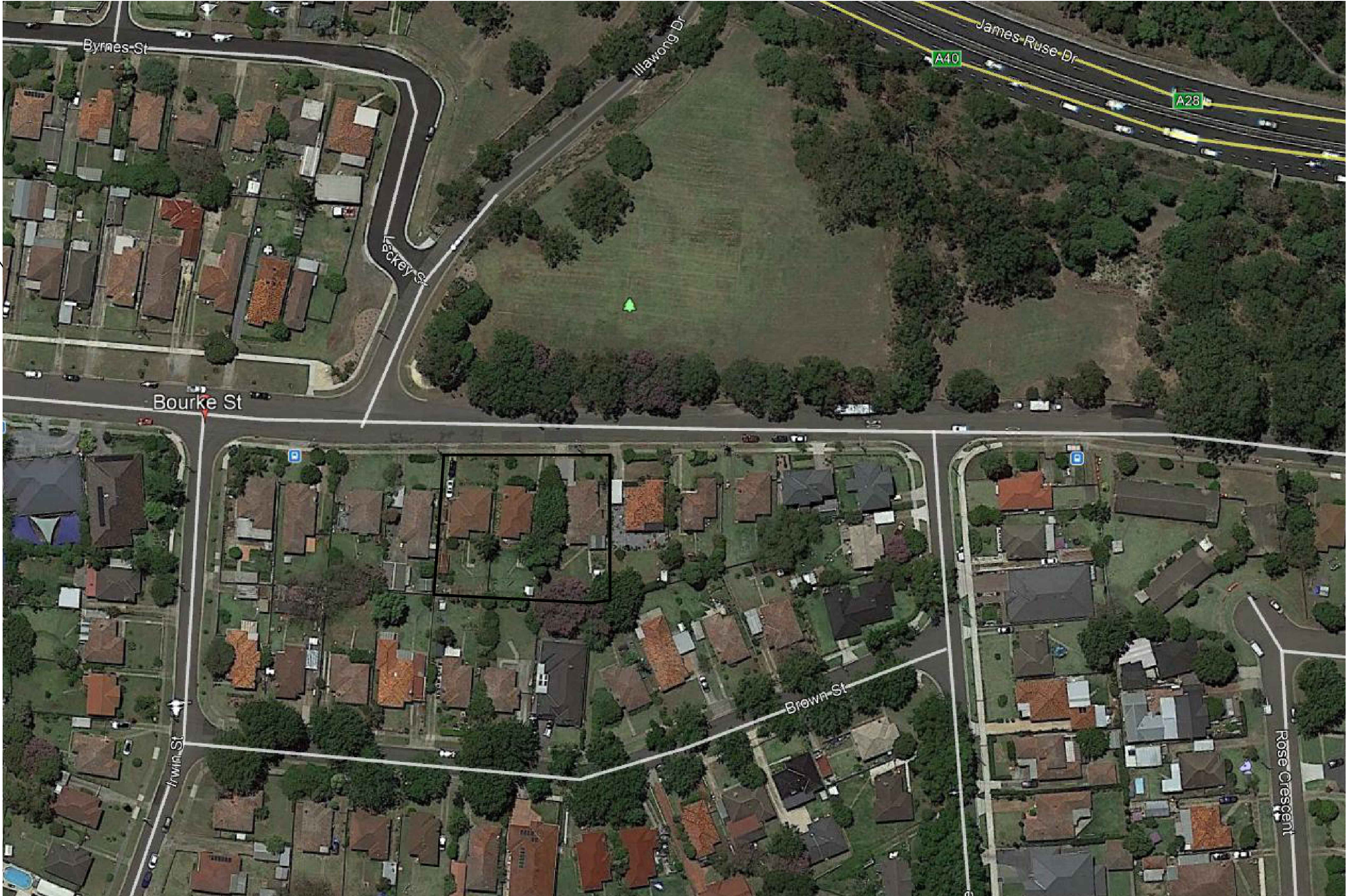
SENIORS HOUSING DEVELOPMENT

57-61 BOURKE STREET & 10 BROWN ST (drainage easement only), NORTH PARRAMATTA

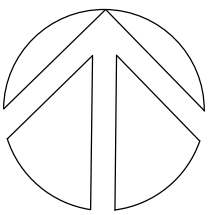
Lots 23, 24, 25 & 38 in DP 35290

LEGEND

AB	ADJUSTABLE BENCH
B	BROOM CUPBOARD
BSN	BASIN
BCH	BENCH
BOE	BRICK ON EDGE
BR	BROOM CUPBOARD
CL	CLOTHES LINE
CMR	CUSTOM ORB COLORBOND METAL ROOFING
CPB	CUPBOARD
D	DESK
DP	DOWNPIPE
F	REFRIGERATOR LOCATION
F1	FENCE 1200mm HIGH METAL PICKET
F2	FENCE 1800mm HIGH COLORBOARD BOUNDARY FENCE
F3	1500/1800 HIGH SLATTED METAL FENCE
FAL	FIXED ALUMINIUM LOUVERS
FB1	FACE BRICK WORK TYPE 1
FB2	FACE BRICK WORK TYPE 2
FC	PAINTED FLUSH FINISH FIBRE CEMENT SHEET
FCL	FINISHED CEILING LEVEL
FFL	FINISHED FLOOR LEVEL
FG	FIXED GLASS
G	GATE
HWU	HOT WATER UNIT GAS RECESSED IN WALL
LB	LETTERBOXES - RECESSED INTO WALL
L	LINEN CUPBOARD
MC2	COLORBOND METAL WALL CLADDING
P	PANTRY
POS	PRIVATE OPEN SPACE
PS	PRIVACY SCREEN 1500mm HIGH METAL SLATS
RL	RELATIVE LEVEL
R	WARDROBE
RW	RETAINING WALL
RWT	RAINWATER TANK
SC	STEEL COLUMN
SMC	STEEL METAL CLADDING
SS	SUN SHADE
SWP	STORMWATER PIT
T	LAUNDRY TUB
TOW	TOP OF WALL
V	VANITY
WC	TOILET SUITE
WM	WASHING MACHINE
WO	WALL OVEN



LOCATION DIAGRAM



NORTH

DRAWING SCHEDULE

ARCHITECTURAL
COVER SHEET
SITE ANALYSIS PLAN
SITE PLAN (INCLUDING 10 BROWN ST SITE)
SITE/ GROUND FLOOR PLAN
FIRST FLOOR PLAN
ROOF PLAN
ELEVATIONS
ELEVATION & SECTIONS
EXTERIOR COLOUR SCHEDULE
DEMOLITION PLAN
BLOCK ANALYSIS PLAN
SHADOW DIAGRAMS MID WINTER
VIEWS FROM SUN
PERSPECTIVE
AREAS OF EXCAVATION & FILL
CROSS VENTILATION DIAGRAM

CIVIL
COVER SHEET & NOTES
STORMWATER MANAGEMENT PLAN
STORMWATER MANAGEMENT DETAILS SHEET No1
OSD CALCULATION SHEET & MAINTENANCE SCHEDULE
OSD CHECKLIST SHEET 1 OF 2
OSD CHECKLIST SHEET 2 OF 2
EROSION AND SEDIMENT CONTROL PLAN
EROSION & SEDIMENT CONTROL NOTES & DETAILS
PROPOSED DRAINAGE EASEMENT ALIGNMENT PLAN
STORMWATER QUALITY REPORT SHEET 1 OF 2
STORMWATER QUALITY REPORT SHEET 2 OF 2

REFERENCE No

A01	E
A02	D
A03	F
A04	F
A05	E
A06	E
A07	E
A08	D
A09	D
A10	B
A11	B
A12	A
A13	B
A14	A
A15	D
A16	-

C1	D
C2	D
C3	D
C4	D
C5	D
C6	D
C7	D
C8	D
C9	D
C10	D
C11	D

HYDRAULIC
COVER SHEET
SITE SERVICES

ELECTRICAL
COVER SHEET
SITE SERVICES

LANDSCAPE
LANDSCAPE PLAN
LANDSCAPE DETAILS & SPECIFICATION

SURVEY

BY: TSS TOTAL SURVEYING SOLUTIONS
DETAIL & CONTOUR SURVEY
(57-61 BOURKE STREET NORTH PARRAMATTA)
DETAIL & CONTOUR SURVEY
LONGITUDINAL SECTION
DATE: 21/04/2021
DETAIL & CONTOUR SURVEY
(10 BROWN STREET NORTH PARRAMATTA)
DATE: 29/09/2021

HY-DA-000	2
HY-DA-100	2

EL-DA-000	2
EL-DA-100	2

LA 1 OF 2	F
LA 2 OF 2	F

S 1 OF 3	-
S 2 OF 3	-
S 3 OF 3	-

S 1 OF 1	-
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DEVELOPMENT DATA

Job Reference	BGXWW
Locality / Suburb	North Parramatta
Street Address	57-61 BOURKE STREET & 10 BROWN ST (drainage easement only)
Lot & DP	Lots 23, 24, 25 & 38 in DP 35290
Site Area	1937.5 m ² (excluding lot 38)
Existing Lots	3 (excluding lot 38)
Proposed GFA	968.5 m ²
No. of Dwellings	6 x 1 Bed + 6 x 2 Bed = 12 Dwellings

	Control		Requirement	Proposed
HEIGHT	Parramatta Council-LEP Housing SEPP		9m 9m	7.8m to top of roof
FSR	Parramatta Council-LEP		0.5:1	0.5:1
	Housing SEPP		0.5:1	0.5:1 (968.5m ²)
PARKING	Housing SEPP		0.2 x (no dwellings) = 2.4	9 car spaces
	Housing SEPP	accessible site	0.4 x(no. 1 Beds) = 2.4 0.5 x (no. 2 Beds) = 3	9 car spaces
SETBACK	Parramatta Council DCP	Street	5-7m Consistent with prevailing setback on the street.	7.8 (6.5m to balcony)
		Side	3m Except where dwlngs. primarily address side boundary then 4.5m	3m
		Rear	15% of the length of the site = 6	10.35m (8m to balcony)
LANDSCAPING	Housing SEPP		35 m ² per Dwelling = 420 m ²	722 m ²
DEEP SOIL	Housing SEPP		15% = 290 m ² 65% at rear = 188.5m ²	432.4 m ² 340.8 m ²
SOLAR ACCESS	Housing SEPP		70% for 2hrs in Mid-Winter = 8.4	100% = 12

LAHC* - development data for LAHC new housing supply. For details refer to Current version of LAHC Design Requirements.

GFA* - gross floor area calculated as per relevant Planning Instrument

AREA* - dwelling floor area includes internal walls but excludes external walls

POS* - private open space

						SOLAR ACCESS	
DWELLINGS	Number	Type*	Beds	Area* (m ²)	POS*	LIVING	POS
	1	Ground	2	79	55	6 hr	6 hr
	2	First	2	79	10	6 hr	6 hr
	3	Ground	1	56	28	6 hr	6 hr
	4	First	1	56	17	6 hr	6 hr
	5	Ground	1	60	76	2 hr	4 hr
	6	First	1	60	9	3 hr	3 hr
	7	Ground	2	76	44	6 hr	6 hr
	8	First	2	76	17	6 hr	6 hr
	9	Ground	2	79	50	6 hr	6 hr
	10	First	2	79	10	6 hr	6 hr
	11	Ground	1	59	58	2 hr	3 hr
	12	First	1	59	9	2 hr	3 hr



LOCKED BAG 5022
PARRAMATTA NSW 2124
PHONE No 1800 738 718
https://www.dpie.nsw.gov.au/land-and-housing-corporation



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Architects: Nominated Architect: Barry John Rush
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Phone: (02) 9555 8029 Email: info@barryrush.com.au
www.barryrush.com.au

E	28/11/22	DA AMENDMENTS
D	18/02/22	Revised DA PLAN ISSUE
C	17/01/22	DATA TABLE & DRAWINGS ISSUE_UPDATED
B	10/12/21	DA PLAN ISSUE
A	14/10/21	SKETCH PLAN ISSUE
REV	DATE	NOTATION/AMENDMENT

DO NOT SCALE DRAWINGS. CHECK ALL DIMENSIONS ON SITE.
FIGURED DIMENSIONS TAKE PRECEDENCE.

ARCHITECT	BARRY RUSH & ASSOCIATES PTY LTD PH (02) 9555 8029
PROJECT MANAGER	LAND & HOUSING CORPORATION PH (02) 8753 9000

LANDSCAPE CONSULTANT	GREENLAND DESIGN PTY LTD PH (0403) 164 198
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STRUCTURAL CONSULTANT	

ELECTRICAL & HYDRAULIC CONSULTANT	MARLINE NEWCASTLE PTY LTD PH (02) 4983 9303 FAX (02) 4928 3811
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BUSINESS PARTNER:

PROJECT:
SENIORS DEVELOPMENT
57-61 BOURKE STREET &
10 BROWN ST (drainage easement only)
NORTH PARRAMATTA
LOTS 23, 24, 25 & 38 in DP 35290

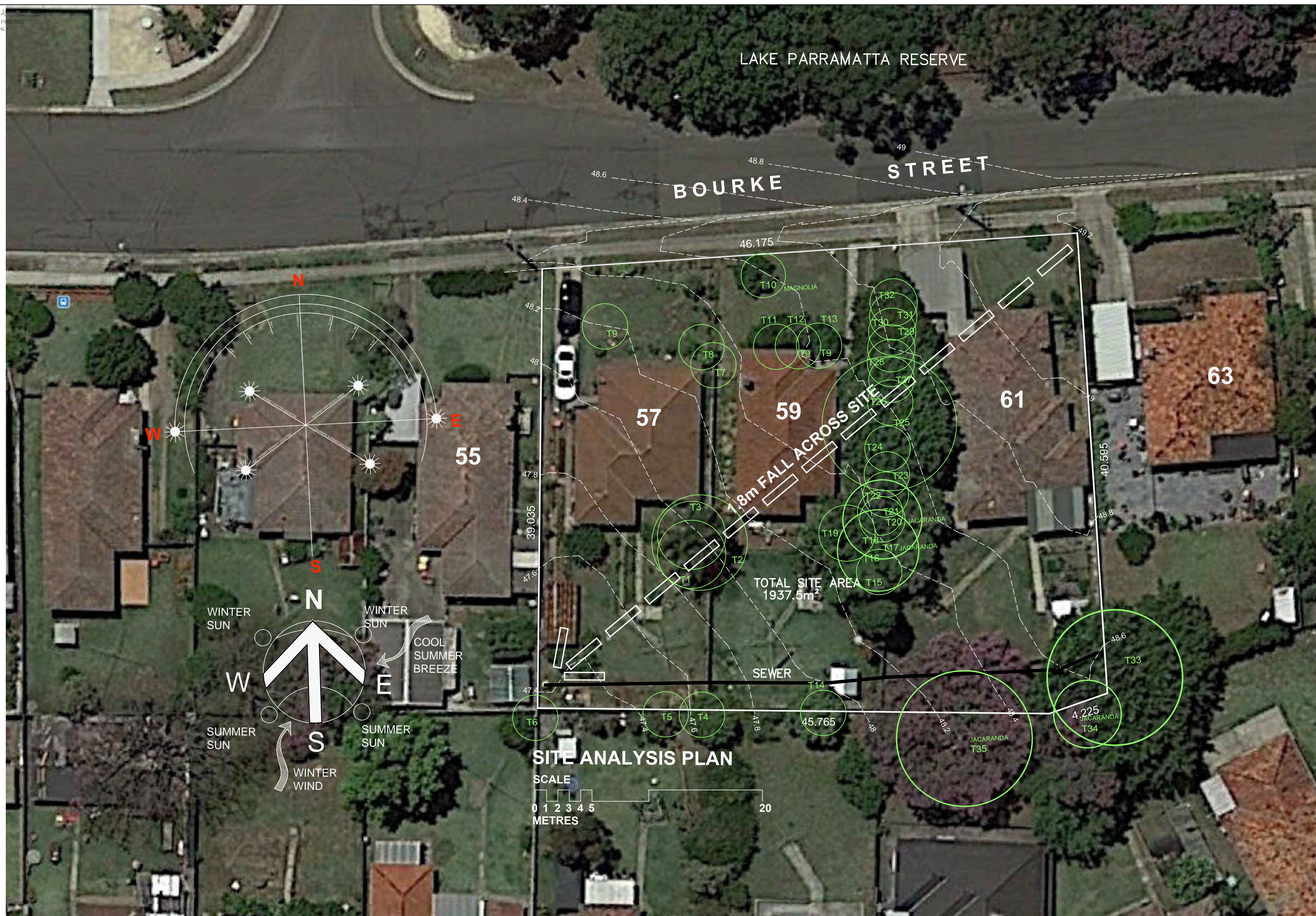
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COVER SHEET

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STAGE: MB	DRAWN: MB	CHECKED: BR	POWERED ARCHITECT B.R.
TYPE: A	SHEET: A01	REV:	E





NOTES:

FOR ALL STORMWATER
REFER TO CIVIL PLANS

FOR ALL PLANTING REFER
TO LANDSCAPE PLAN

FOR TREE PROTECTION
MEASURES REFER TO
ARBORIST REPORT

LEGEND:

1 BED UNIT

2 BED UNIT

PRIVATE LANDSCAPE AREA

COMMON LANDSCAPE AREA

DEEP SOIL ZONE

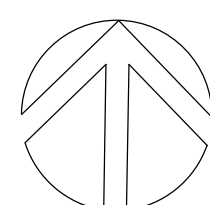
EXISTING TREE

TREE TO BE REMOVED

T35 TREE NUMBER. REFER TO ARBORIST REPORT

 STORMWATER PIT REFER
ALSO TO CIVIL DRAWINGS

STORMWATER EASEMENT
REFER ALSO TO CIVIL
DRAWINGS



NORTH

SCALE

A horizontal number line with tick marks at 0, 5, 10, and 20. The word "METRES" is written below the line.



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F	28/11/22	DA AMENDMENTS
REV	DATE	NOTATION/AMENDMENT
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PH (02) 8753 9000

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ELECTRICAL & HYDRAULIC CONSULTANT
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PH (02) 4925 9300 FAX (02) 4926 3811

	BUSINESS PARTNER:
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PROJECT:
SENIORS DEVELOPMENT
57-61 BOURKE STREET &
10 BROWN ST (drainage easement only)
NORTH PARRAMATTA
LOTS 23, 24, 25 & 38 in DP 35290

TITLE: **SITE PLAN INCLUDING
10 BROWN STREET**

FILE:
DA I Plans Bourke St N Parramatta.dwg

PLOTTED:
28/11/2022 11:53 AM

STATUS: DA			
DATE: 14/06/21	SCALE:	PROJ: -	PROJECT NO. BGXWW
STAGE:	DRAWN: MB	CHECKED: BR	NOMINATED ARCHTCT: <i>BR</i>
TYPE: A	SHEET: A03		REV: F

BOURKE (A B) STREET



- LEGEND:**
- 1 BED UNIT
 - 2 BED UNIT
 - PRIVATE LANDSCAPE AREA
 - COMMON LANDSCAPE AREA
 - DEEP SOIL ZONE
 - EXISTING TREE
 - TREE TO BE REMOVED
 - TPZ TREE PROTECTION ZONE
 - STRUCTURAL ROOT ZONE
 - TREE NUMBER. REFER TO ARBORIST REPORT
 - STORMWATER PIT REFER ALSO TO CIVIL DRAWINGS
 - 3m x 3m POS OFF LIVING AREA

FOR ALL PLANTING REFER TO LANDSCAPE PLAN
FOR TREE PROTECTION MEASURES REFER TO ARBORIST REPORT
TREE PROTECTION ZONE (TPZ) REFER TO ARBORIST REPORT

DISCHARGE STORMWATER TO PROPOSED EASEMENT. EASEMENT DETAILS TO BE ISSUED UNDER SEPARATE COVER

1.8m HIGH COLORBOND FENCE F2 TO BOUNDARY

ALLOW TO REGRADE AREA LOCALLY TO FALL SURFACE TO PIT P1

PROVIDE MINIMAL FALLS AND CROSS FALLS (MAX 1:40) IN CONCRETE SLAB TO DRAINAGE PITS

5m³ WATER QUALITY CHAMBER TO CIVIL ENGINEERS DETAILS

500mm WIDE SWALE TO DIRECT SURFACE WATER FLOWS TO PIT P1

OVERLAND FLOW PATH SHOWN (ARROWS) TO NEW DRAINAGE SYSTEM REFER CIVIL ENGINEER'S DETAIL

BOURKE (A B) STREET



SCALE

0 1 2 3 4 5
METRES



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REV	DATE	NOTATION/AMENDMENT
E	28/11/22	DA AMENDMENTS
REV	DATE	NOTATION/AMENDMENT

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ARCHITECT
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BUSINESS PARTNER:

PROJECT:
SENIORS DEVELOPMENT
57-61 BOURKE STREET &
10 BROWN ST (drainage easement only)
NORTH PARRAMATTA
LOTS 23, 24, 25 & 38 in DP 35290

TITLE:
FIRST FLOOR PLAN

FILE:
DA 1 Plans Bourke St N Parramatta.dwg

PLOTTED:
28/11/2022 11:53 AM

STATUS: DA	DATE: 2/06/21	SCALE:	PROJ:	PROJECT NO: BGXWWW
STAGE:	DRAWN: MB	CHECKED: BR	FORWARDED ARCHITECT: BR	REV: E
TYPE: A	SHEET: A05			

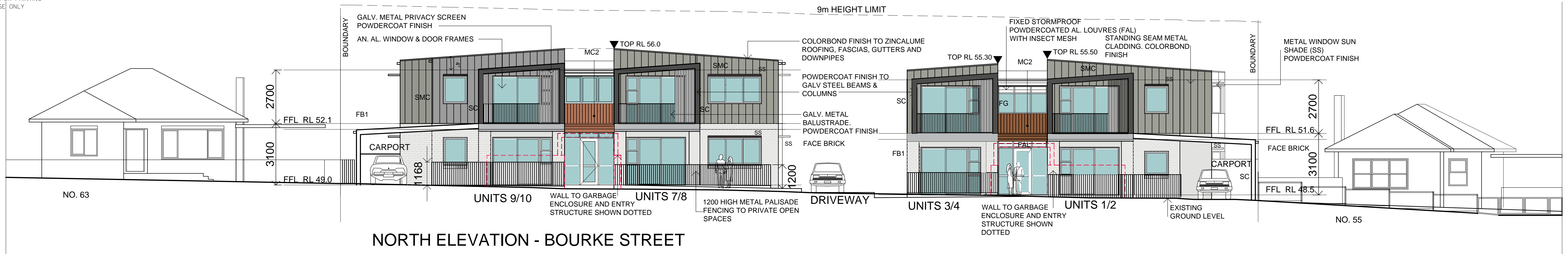
BOURKE (A B) STREET



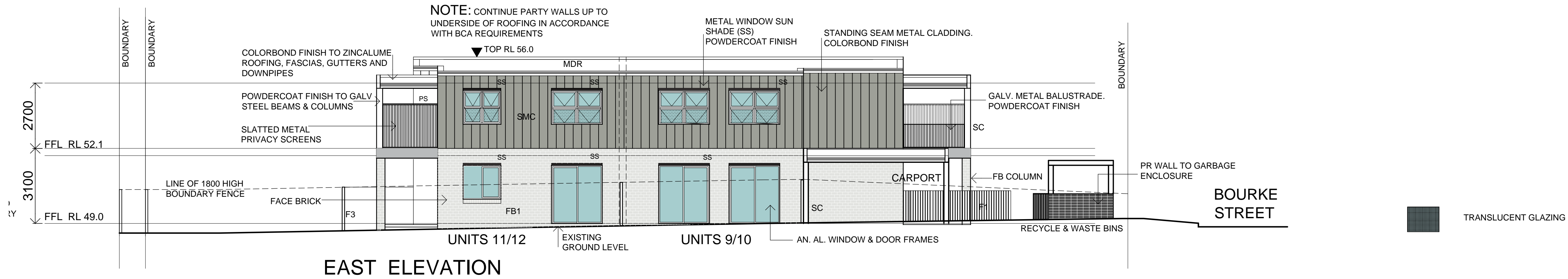
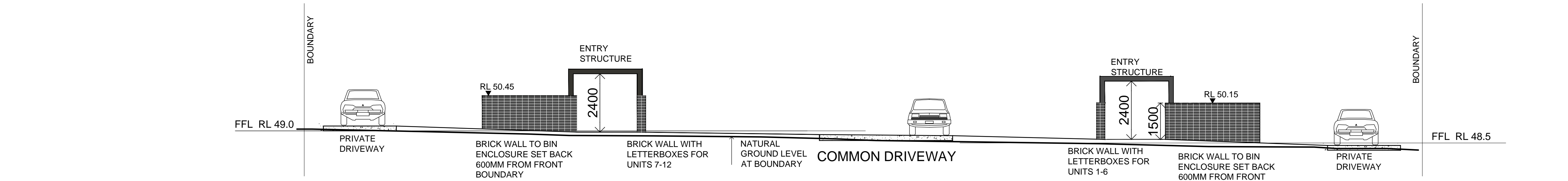
NOTE: FRL 60/60/60
ALL PARTY WALLS TO EXTEND TO
UNDERSIDE OF ROOFING IN
ACCORDANCE WITH BCA
REQUIREMENTS

PARTY WALLS:
WALLS MUST NOT BE CROSSED
BY TIMBER OR OTHER
COMBUSTIBLE BUILDING
ELEMENTS, EXCEPT FOR ROOF
BATTENS WITH DIMS 75X50mm
OR LESS OR SARKING-TYPE
MATERIAL

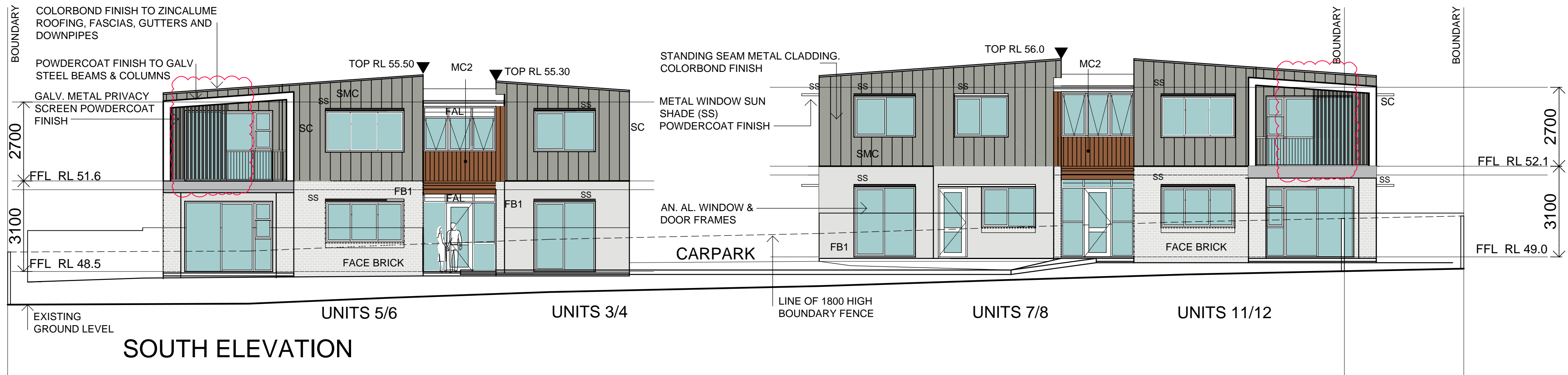
COLORBOND FINISH TO ROOFING,
FASCIAS, BARGES, CAPPINGS,
GUTTERS & DOWNPIPES.
COLORBOND CAPPING TO ALL
PARAPETS.



ENTRIE STRUCTURES/ BINS STORAGE ELEVATION -



SOUTH ELEVATION



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E	28/11/22	DA AMENDMENTS
D	18/02/22	Revised DA PLAN ISSUE
C	17/01/22	CHANGES TO SUIT CLIENTS COMMENTS ON DA PLANS
B	10/12/21	DA PLAN ISSUE
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ARCHITECT	BARRY RUSH & ASSOCIATES PTY LTD PH (02) 9555 8020
PROJECT MANAGER	LAND & HOUSING CORPORATION PH (02) 8753 9000
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CIVIL CONSULTANT	ACOR CONSULTANTS PTY LTD PH (02) 4324 3469
STRUCTURAL CONSULTANT	
ELECTRICAL & HYDRAULIC CONSULTANT	MARLINE NEWCASTLE PTY LTD PH (02) 4505 9100 FAX (02) 4505 3011

BUSINESS PARTNER:

PROJECT:
SENIORS DEVELOPMENT
57-61 BOURKE STREET &
10 BROWN ST (drainage easement only)
NORTH PARRAMATTA
LOTS 23, 24, 25 & 38 in DP 35290

TITLE:
ELEVATIONS

FILE:
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STATUS: DA

DATE: 2/06/21

SCALE: -

STAGE: MB

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PROD: -

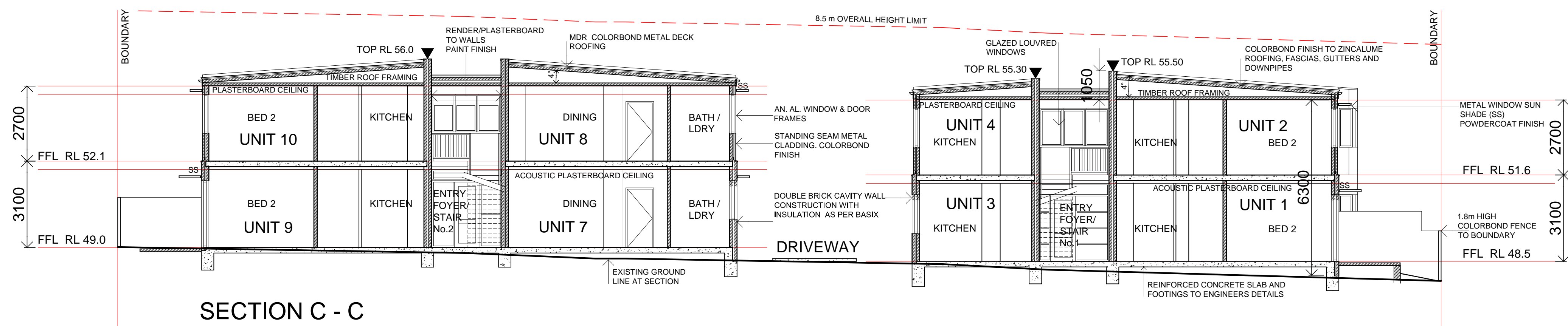
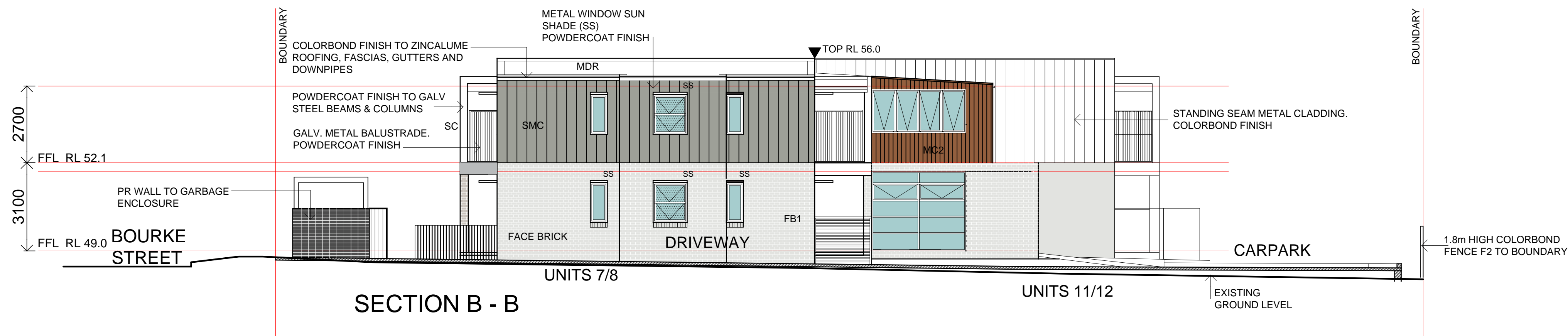
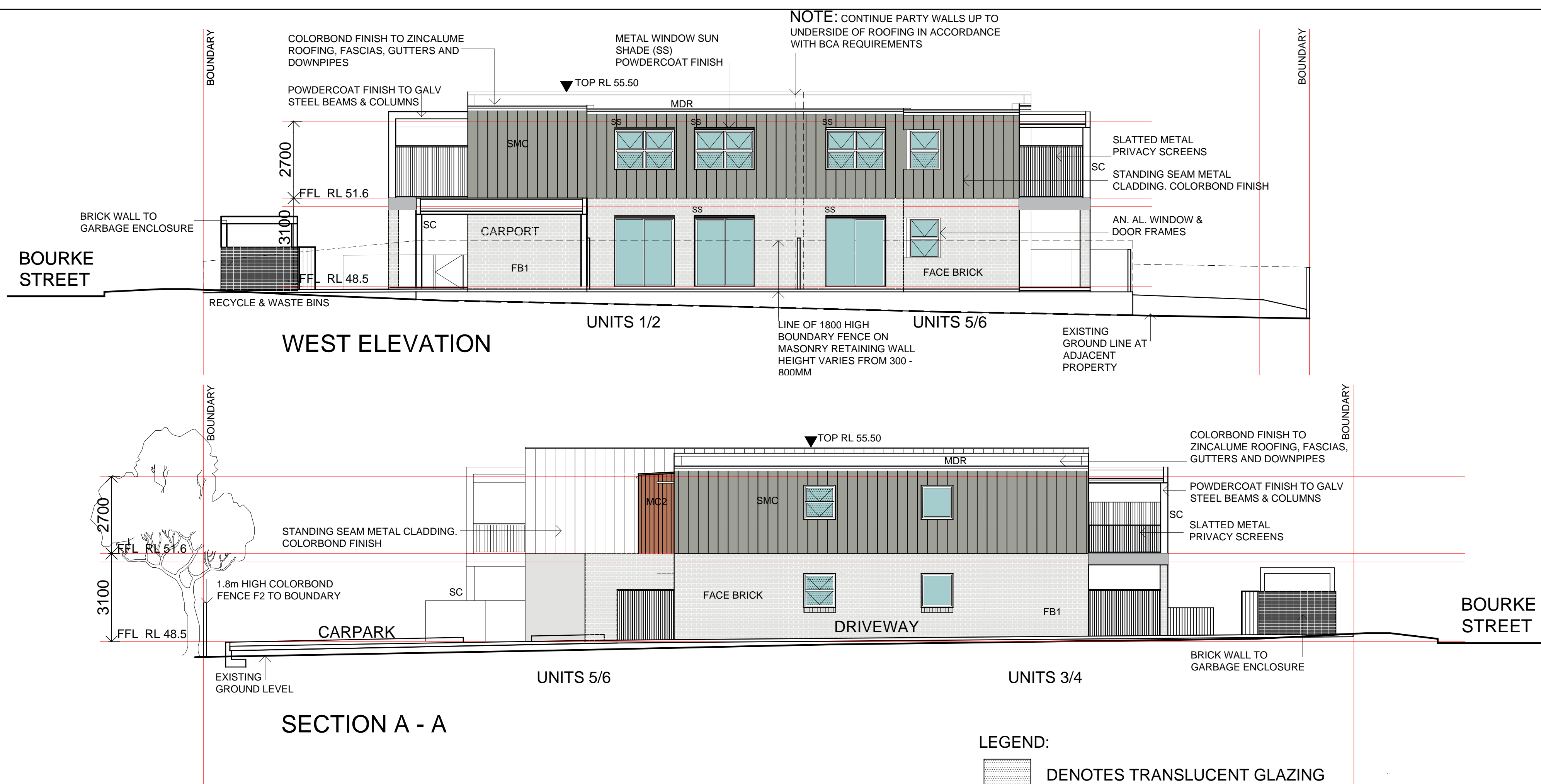
CHECKED: BR

SHEET: A07

REV: E

PROJECT NO: BGXWW

FORWARDED ARCHITECT: BR



FebruaryBSA Reference: 17792

Building Sustainability AssessmentsPh. (02) 4962 3439

enquiries@buildingsustainability.net.auwww.buildingsustainability.net.au

Important Note

The following specification was used to achieve the thermal performance values indicated on the Assessor Certificate. If the proposed construction varies to those detailed below then the Assessor and NatHERS certificates will no longer be valid. Assessments assume that the BCA provisions for building sealing & ventilation are complied with at construction.

In NSW both BASiX & the BCA variations must be complied with, in particular the following:

- Thermal construction in accordance with Vol 1 Section J1.2 and Vol 2 Part 3.12.1.1.
- Thermal breaks for Class 1 dwellings in accordance with Part 3.12.1.2(c) & 3.12.1.4(d).
- Floor insulation for Class 1 dwellings as per Part 3.12.1.5(a)(ii), (iii) & (c), (d) & (e).
- Building sealing in accordance with Section J3 or Part 3.12.3.1 to 3.12.3.6.

Thermal Performance Specifications (does not apply to garage)

External Wall Construction		Added Insulation	
Cavity Brick	R0.74 to inside face of masonry under plasterboard		
Reverse Brick Veneer		R2.0	
Internal Wall Construction		Added Insulation	
Brick (internal to units)	R2.0 to walls adjacent to garage		
Cavity Brick (party walls)		none	
Cavity Brick (common area walls)	R0.74 to inside face of masonry under plasterboard		
Ceiling Construction		Added Insulation	
Plasterboard	R3.5 to ceilings adjacent to roof space		
Roof Construction		Added Insulation	
Colour (Solar Absorbance)			
Metal	Any	Foil + R1.0 blanket	
Floor Construction		Added Insulation	
Concrete	As drawn (if not noted default values used)	None	

Windows	Glass and frame type	U value	SHGC Range	Area sq m
Performance glazing Type A		2.60	0.45 - 0.55	Unit 3
Performance glazing Type B		2.60	0.48 - 0.58	Unit 3
Performance glazing Type A		3.90	0.45 - 0.55	Unit 7 & Unit 9
Performance glazing Type B		3.90	0.57 - 0.69	Unit 7 & Unit 9
Performance glazing Type A		4.60	0.32 - 0.40	All other Units
Performance glazing Type B		4.60	0.41 - 0.51	All other Units
Type A windows are awning windows, bifolds, casements, tilt 'n' turn windows, entry doors, french doors				
Type B windows are double hung windows, sliding windows & doors, fixed windows, stacker doors, louvers				
Skylights	Glass and frame type	U	SHGC	Area sq m
				Detail

U and SHGC values are according to AFRC. Alternate products may be used if the U value is lower & the SHGC is within the range specified

Shade elements	(eaves, verandahs, awnings etc)
All shade elements modelled as drawn	

Ceiling Pendants	(downlights, exhaust fans, flues etc)
Modelled as drawn and/or to comply with the ventilation and sealing requirements of the BCA	
Ducting is modelled at 150mm. No insulation losses from downlighting have been modelled.	

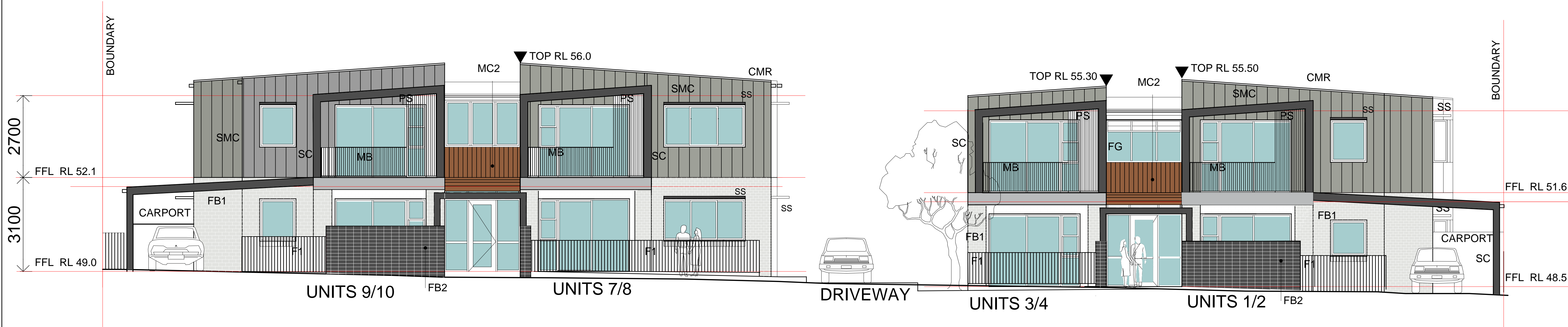
Additional Notes

Nil

NOTE: FRL 60/60/60
ALL PARTY WALLS TO EXTEND TO
UNDERSIDE OF ROOFING IN
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BATTENS WITH DIMS 75X50mm
OR LESS OR SARKING-TYPE
MATERIAL

FOR INSULATION REQUIREMENTS
REFER TO BASIX



NORTH ELEVATION - BOURKE STREET

FINISHES SCHEDULE

CODE	LOCATION		DESCRIPTION	COLOUR
MDR	ROOFING		METAL DECK ROOFING	SURFMIST
	GUTTER/ DOWNSPIPE/ FASCIA & BARGE		METAL	TO MATCH ADJACENT WALL COLOUR
FB1	BUILDING WALLS		FACE BRICK	BOWRAL CHILLINGHAM WHITE
FB2	FRONT WALLS - BIN STORES & LB WALLS		FACE BRICK	PGH BLACK BEAUTY
SMC	FIRST FLOOR WALLS		METAL WALL CLADDING STANDING SEAM	BASALT
SS	WINDOW/ DOORS AWNINGS		METAL POWDERCOATED	MONUMENT
SC	BALCONY/ COLUMNS STRUCTURE		METAL POWDERCOATED	MONUMENT
PR1	BALCONY'S SLAB		OFF-FORM CONCRETE SKIM COAT RENDER + GRANOSITE SMOOTH PAINT	NATURAL

CODE	LOCATION		DESCRIPTION	COLOUR
PS	PRIVACY SCREEN		METAL POWDERCOATED	MONUMENT
	WINDOWS & DOORS		METAL POWDERCOATED	MONUMENT
MB	BALCONY BALUSTRADE		METAL POWDERCOATED	SURFMIST
MC2	STAIRS WALLS & ENTRY AWNINGS		METAL WALL CLADDING STANDING SEAM	TERRAIN
FC1	BALCONY LINING & SOFFIT		PAINTED FIBER CEMENT SHEETING	WATTYL ASTOR WHITE
F1	FENCE		1200 HIGH METAL FENCING TO DETAIL	DULUX MONUMENT
F2	FENCE		1800 HIGH COLORBOND METAL FENCE	DULUX SHALE GREY
F3	FENCE		1500 HIGH SLATTED METAL FENCE	DULUX SHALE GREY



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www.barryrush.com.au

D	18/02/22	Revised DA PLAN ISSUE
C	17/01/22	CHANGES TO SUIT CLIENTS COMMENTS ON DA PLANS
B	10/11/21	DA PLAN ISSUE
A	14/10/21	SKETCH PLAN ISSUE
REV	DATE	NOTATION/AMENDMENT
DO NOT SCALE DRAWINGS. CHECK ALL DIMENSIONS ON SITE. FIGURED DIMENSIONS TAKE PRECEDENCE.		

ARCHITECT	BARRY RUSH & ASSOCIATES PTY LTD PH (02) 9555 8028
PROJECT MANAGER	LAND & HOUSING CORPORATION PH (02) 8753 9500
LANDSCAPE CONSULTANT	GREENLAND DESIGN PTY LTD PH 0403 164 198

CIVIL CONSULTANT	ACOR CONSULTANTS PTY LTD PH (02) 4324 3499
STRUCTURAL CONSULTANT	
ELECTRICAL & HYDRAULIC CONSULTANT	MARLINE NEWCASTLE PTY LTD PH (02) 4925 9300 FAX (02) 4928 3811

BUSINESS PARTNER:

PROJECT:
SENIORS DEVELOPMENT
57-61 BOURKE STREET &
10 BROWN ST (drainage easement only)
NORTH PARRAMATTA
LOTS 23, 24, 25 & 38 in DP 35290

TITLE:
**DEVELOPMENT DATA &
FINISHES SCHEDULE**

FILE:
D:\a Bourke St N Parramatta 28Nov21.dwg

PLOTTED:
29/11/2021 4:14 PM

STATUS: DA

DATE:
14/06/21

SCALE:
1:100

TYPE:
A

PROJ:
-

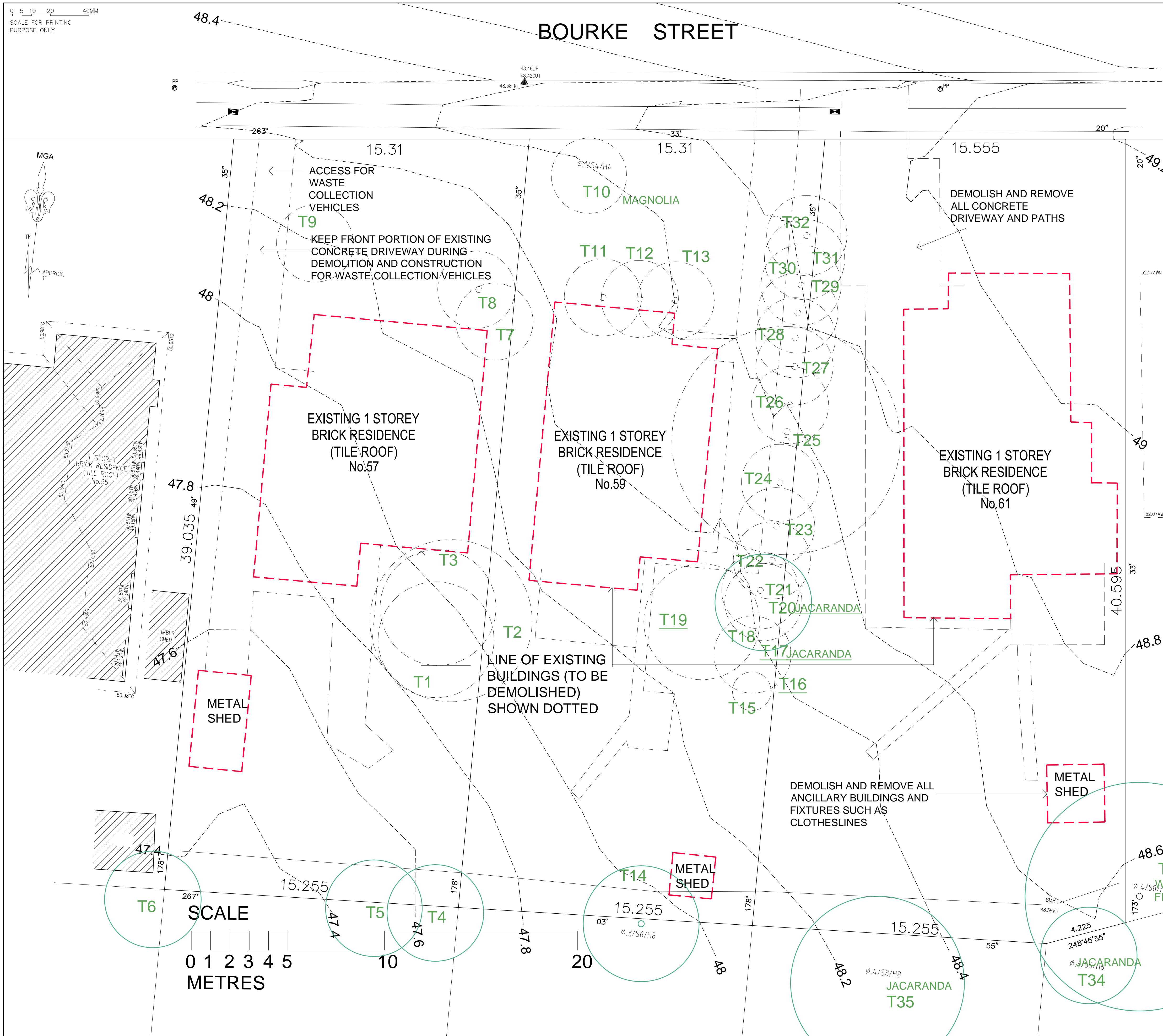
CHECKED:
BR

SHEET:
A09

PROJECT NO:
BGXWW

DESIGNED BY:
BR

REV:
D



DEMOLITION NOTES:

**1. ALL DEMOLITION TO AUSTRALIAN STANDARD
AS2601-2001 DEMOLITION OF STRUCTURES.**

2. DEMOLISH ALL EXISTING DWELLINGS, SHEDS, CARPORTS, GARAGES, STEPS, RAMPS, RETAINING WALLS, SLABS, FOOTPATHS & FOOTINGS, HARD SURFACE AREAS, FENCES, RAILINGS, PLANTER BOXES, TURF, LETTERBOXES, BBQs, CLOTHES HOISTS, AC UNITS, HOT WATER UNITS & METER BOARDS & REMOVE FROM SITE.

3. SORT MATERIALS FOR POTENTIAL TO RECYCLE OR RE-USE ON-SITE.

4. DISCONNECT AND REMOVE EXISTING SERVICE LINES AS REQUIRED.

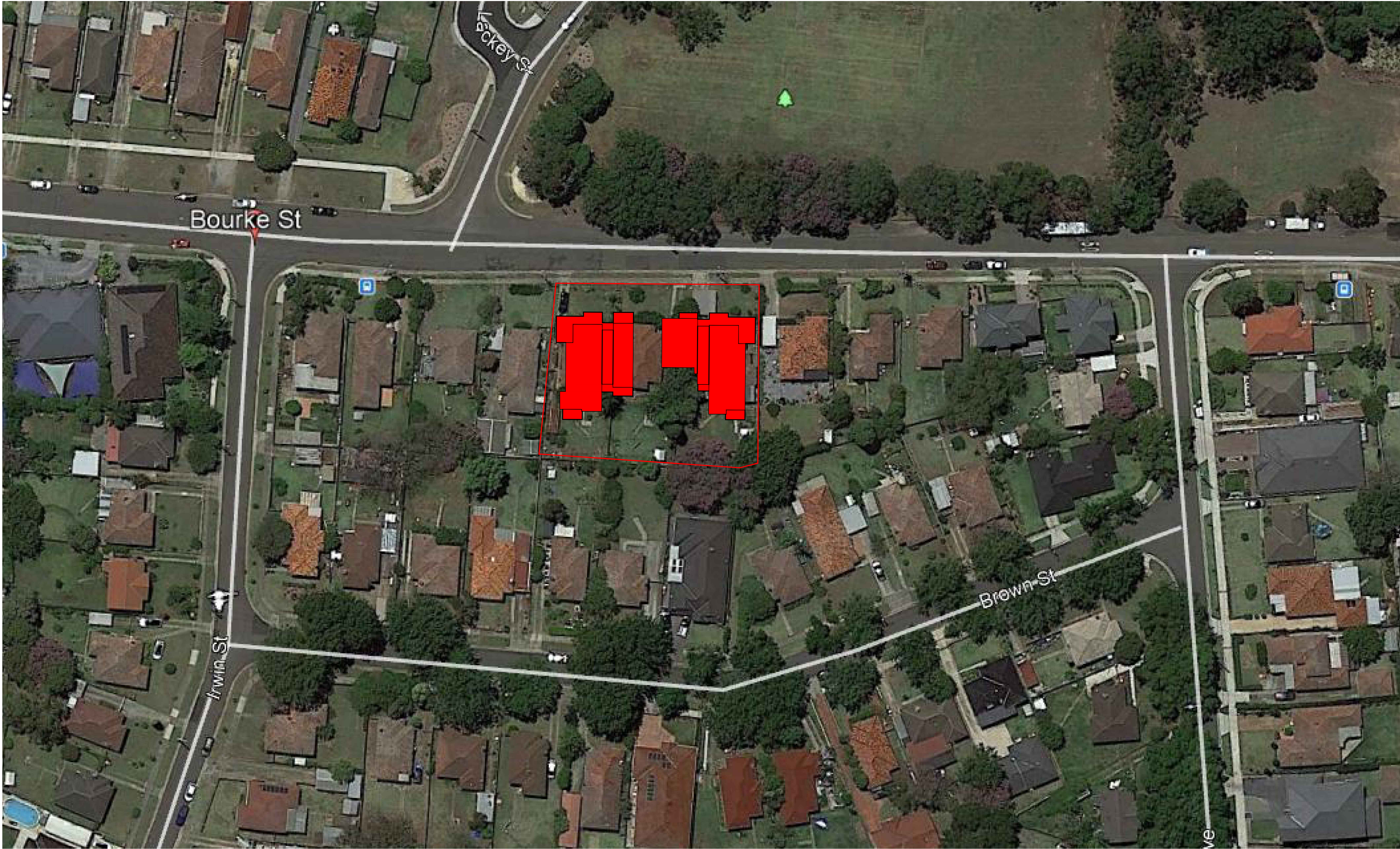
5. REMOVE EXISTING TREES & SHRUBS ON SITE INCLUDING STUMP GRINDING & GRUBBING (SHOWN DASHED).

6. ASBESTOS IS TO BE REMOVED FROM EXISTING DWELLINGS PRIOR TO DEMOLITION COMMENCEMENT. A CERTIFICATE IS TO BE SUBMITTED BY A HYGIENIST CONFIRMING THAT ALL ASBESTOS HAS BEEN REMOVED PRIOR TO DEMOLITION, ANOTHER CERTIFICATE IS TO BE SUBMITTED ON COMPLETION OF DEMOLITION.

7. REMOVE AND MAKE GOOD TO REDUNDANT DRIVEWAYS AND CROSSOVERS, REPLACE WITH KERB AND GUTTER, MAKE GOOD TO KERB AND GUTTER WHERE REQUIRED.

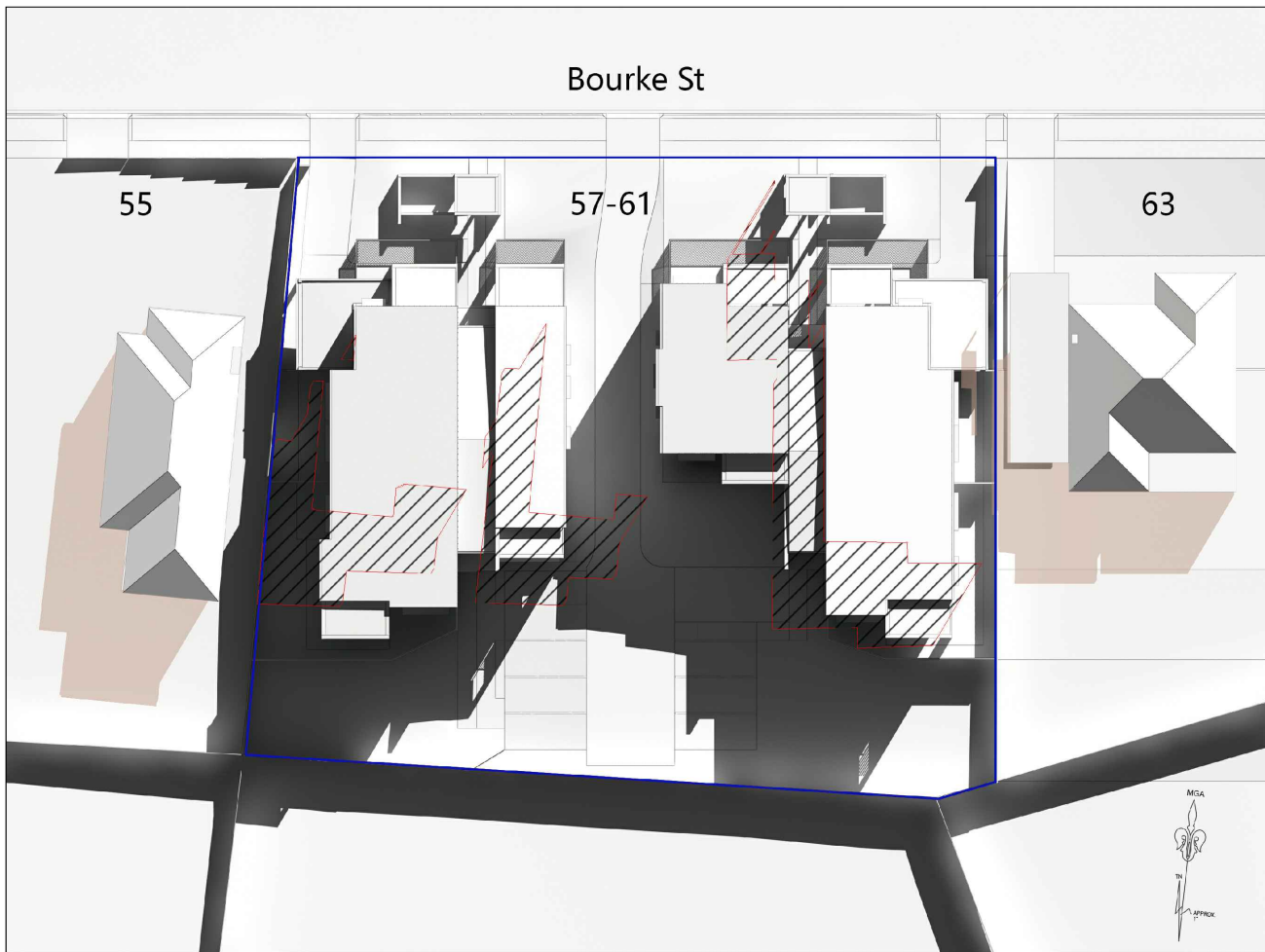
8. REMOVAL OF ANY SURFACE BUILDING DEBRIS LEFT BEHIND BY DEMOLITION CONTRACTOR IS TO BE REMOVED, THIS INCLUDES CONCRETE, MASONRY AND ASBESTOS PARTICLES.



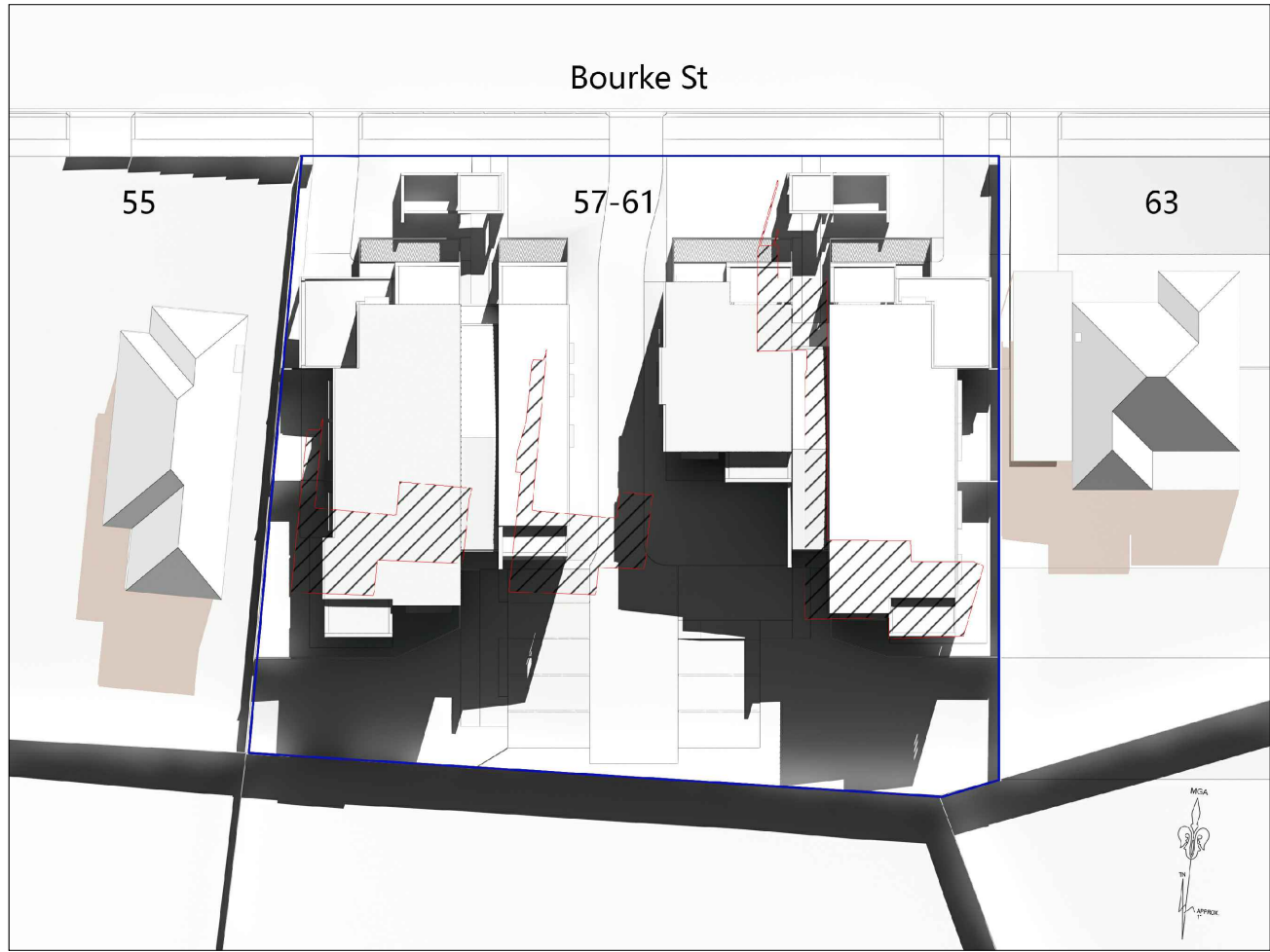




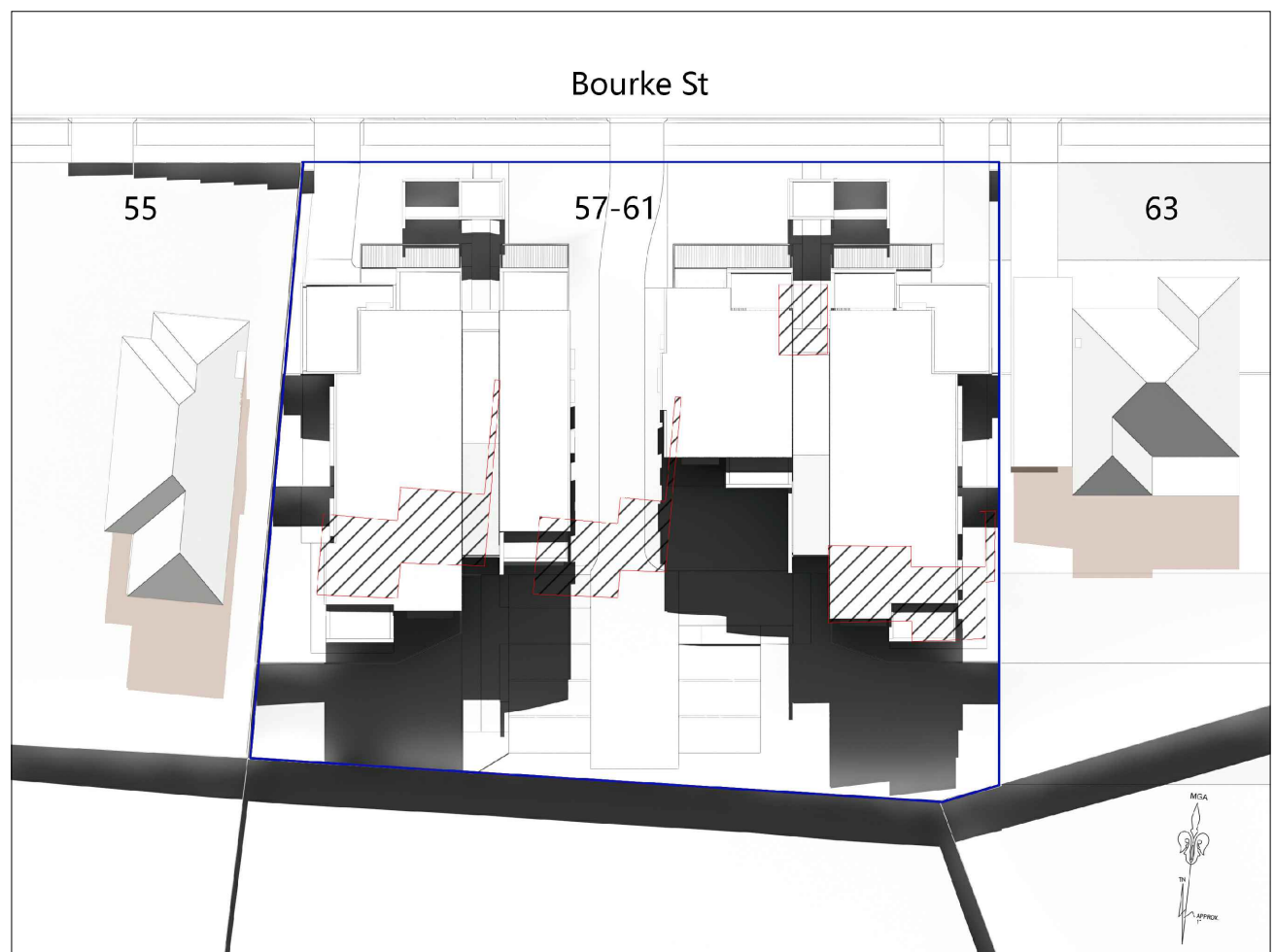
9AM 21ST JUNE



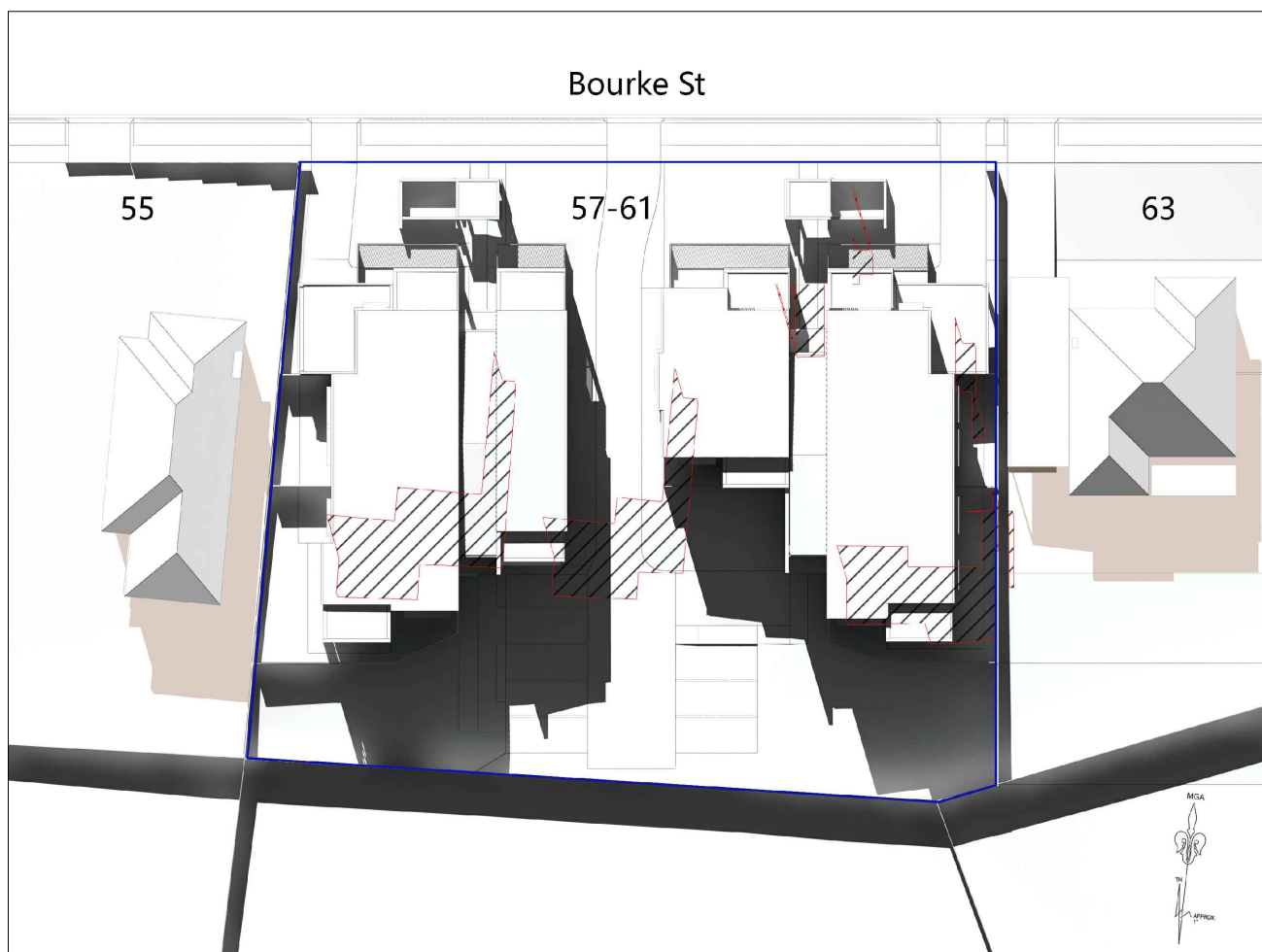
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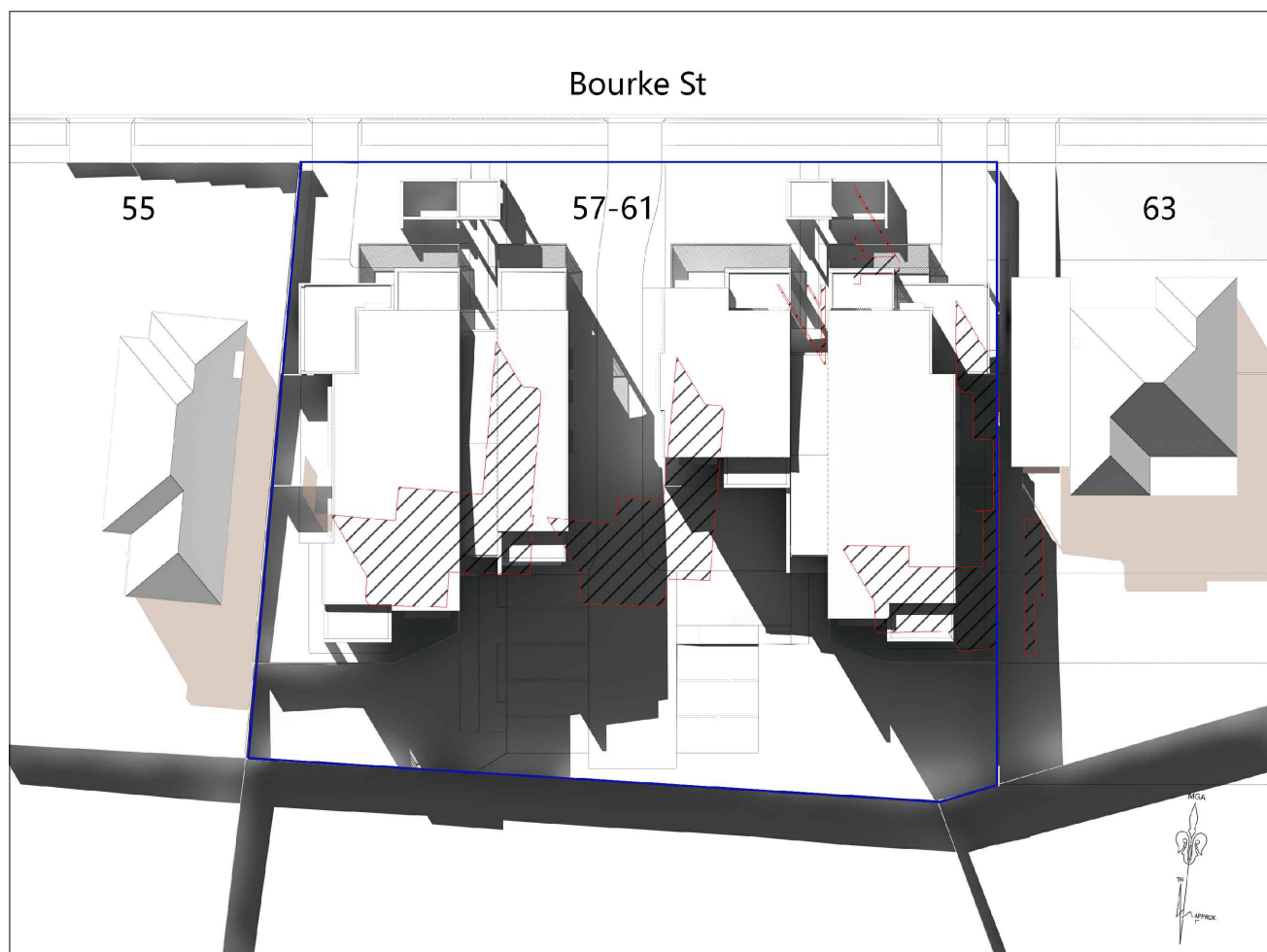
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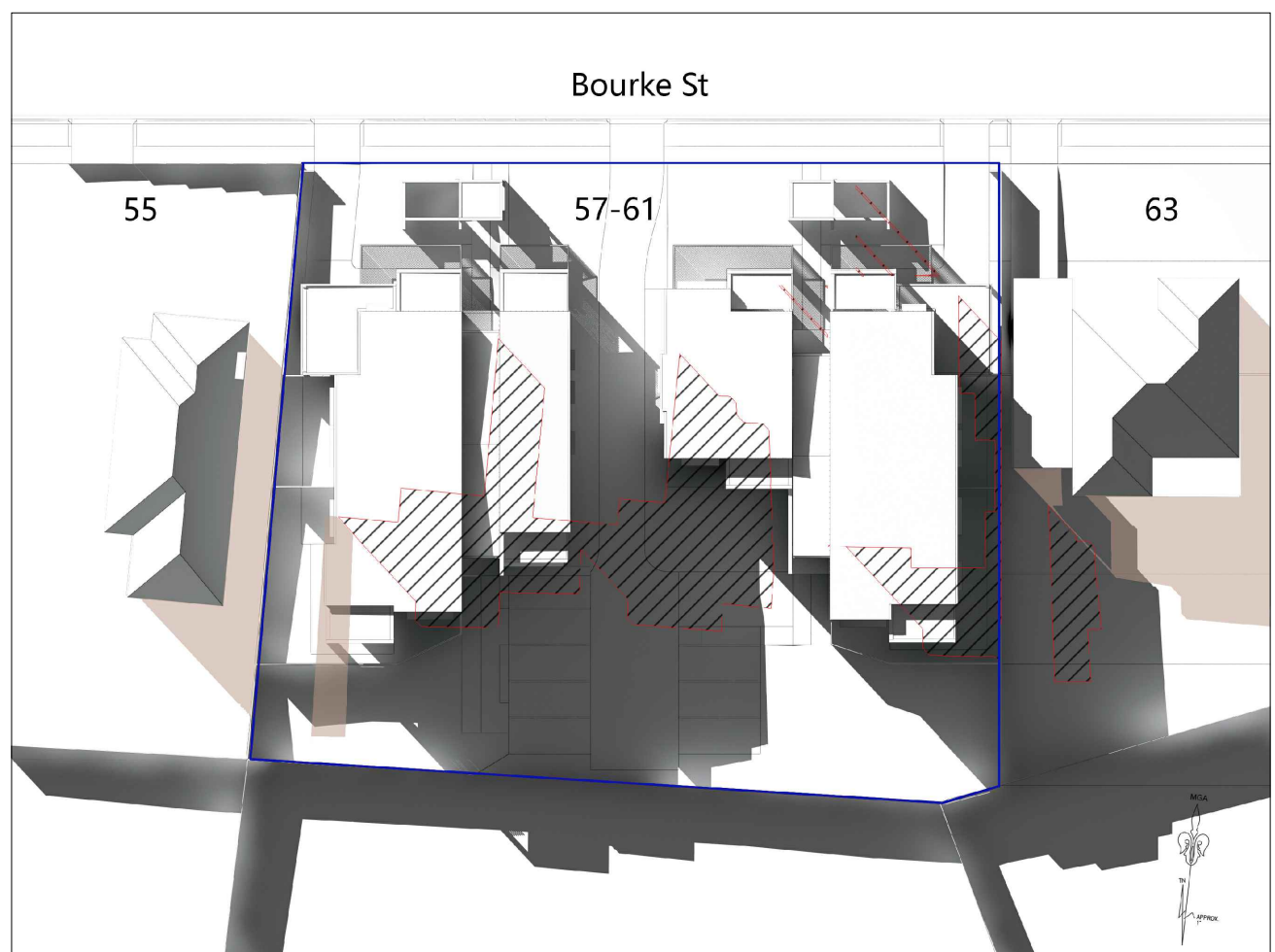
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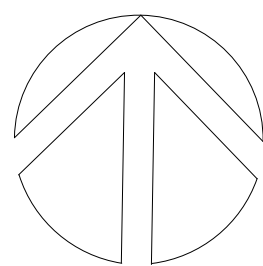
1PM 21ST JUNE



2PM 21ST JUNE



3PM 21ST JUNE



NORTH

LEGEND:

- Grey area indicates shadows cast by proposed development
- Shadows cast by existing buildings on site
- Pink area indicates shadows cast by neighboring properties



LOCKED BAG 5022
PARRAMATTA NSW 2124
PHONE No 1800 738 718
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www.barryrush.com.au

REV	DATE	NOTATION/AMENDMENT
A	10/12/21	DA PLAN ISSUE
DO NOT SCALE DRAWINGS. CHECK ALL DIMENSIONS ON SITE. FIGURED DIMENSIONS TAKE PRECEDENCE.		

ARCHITECT BARRY RUSH & ASSOCIATES PTY LTD PH (02) 9555 8028
PROJECT MANAGER LAND & HOUSING CORPORATION PH (02) 8753 9500
LANDSCAPE CONSULTANT GREENLAND DESIGN PTY LTD PH 0403 164 188

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BUSINESS PARTNER:

PROJECT:
**SENIORS DEVELOPMENT
57-61 BOURKE STREET &
10 BROWN ST (drainage easement only)
NORTH PARRAMATTA
LOTS 23, 24, 25 & 38 in DP 35290**

TITLE:
SHADOW DIAGRAMS

FILE: PLOTTED:

STATUS: DA

DATE:
7/12/21

SCALE:
N.T.S.

TYPE:
A

PROJ:
-

DRAWN:

SHEET:
A12

CHECKED:

REVISIONS:

REV:
A

PROJECT NO:
BGXVW

DESIGNED BY:

REV:
BR



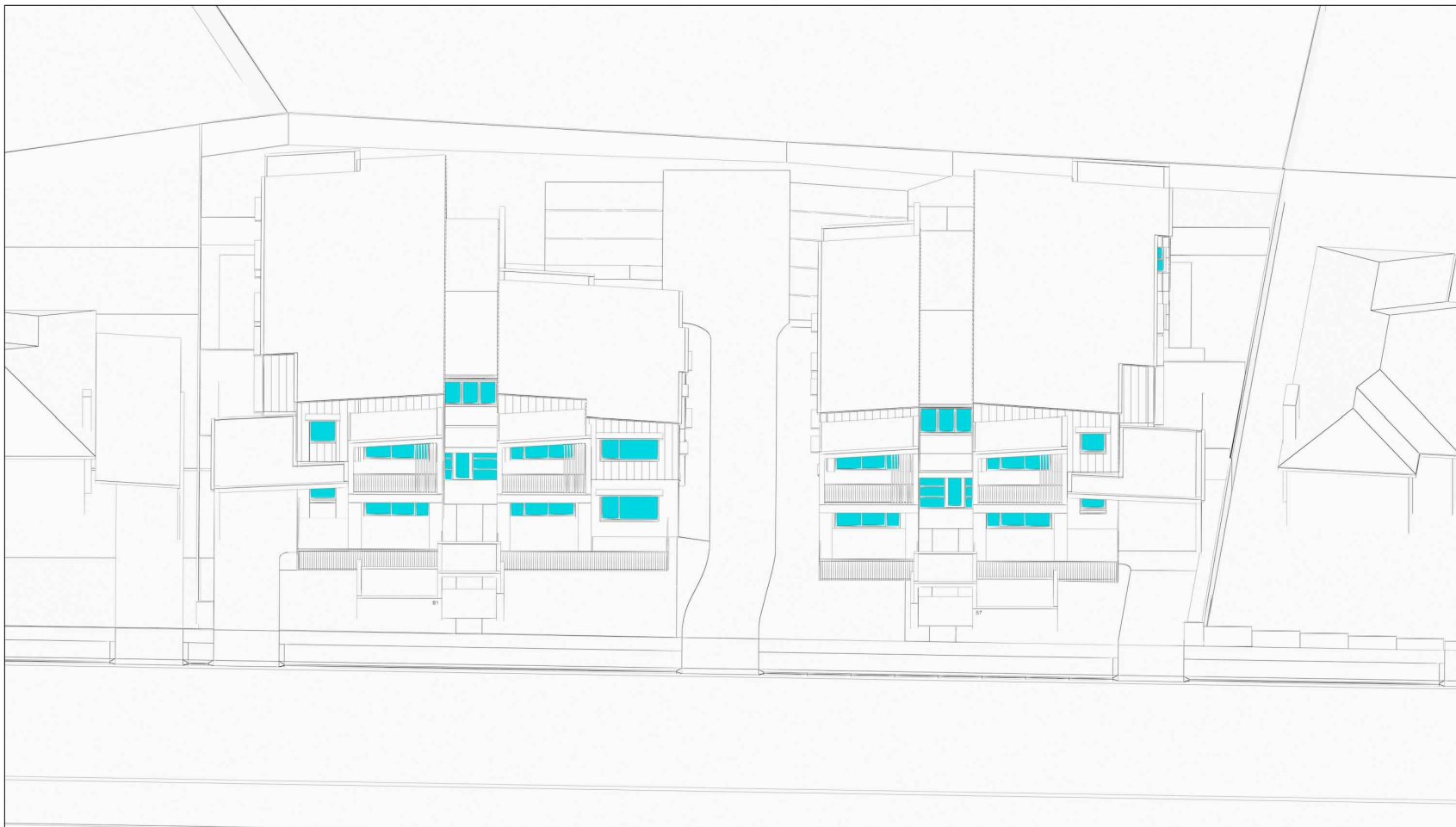
9AM 21ST JUNE



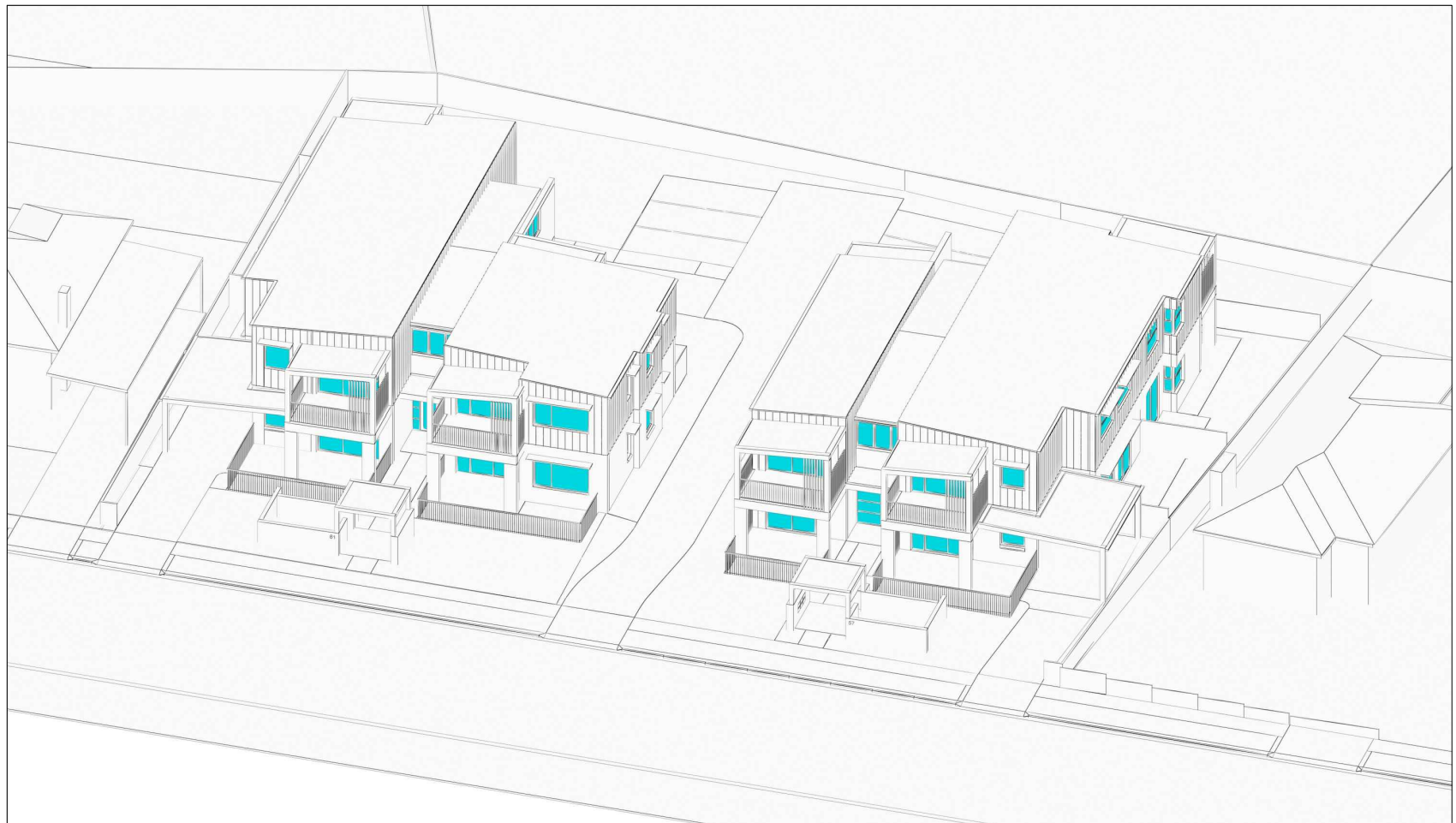
10AM 21ST JUNE



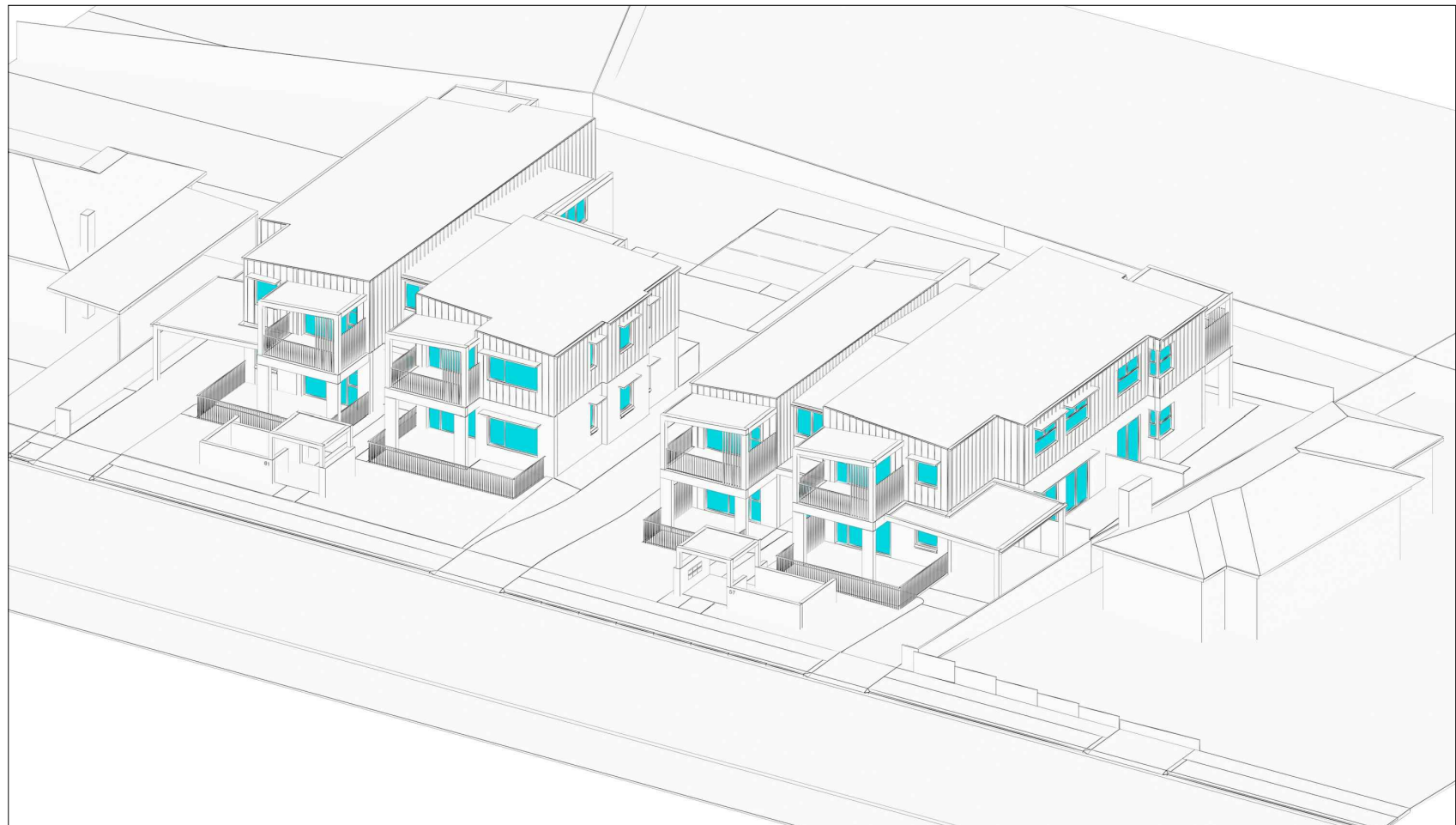
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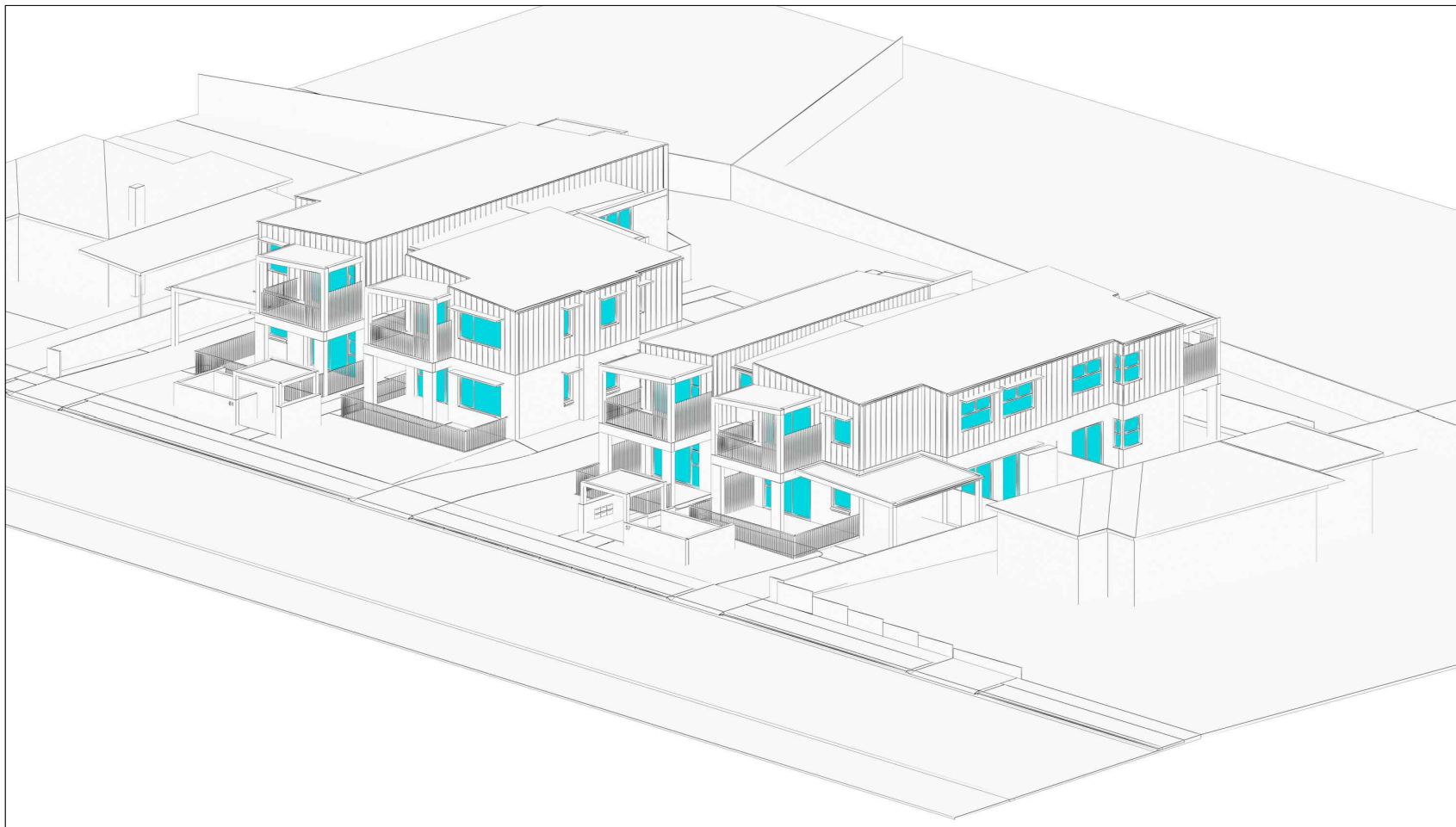
12NOON 21ST JUNE



1PM 21ST JUNE

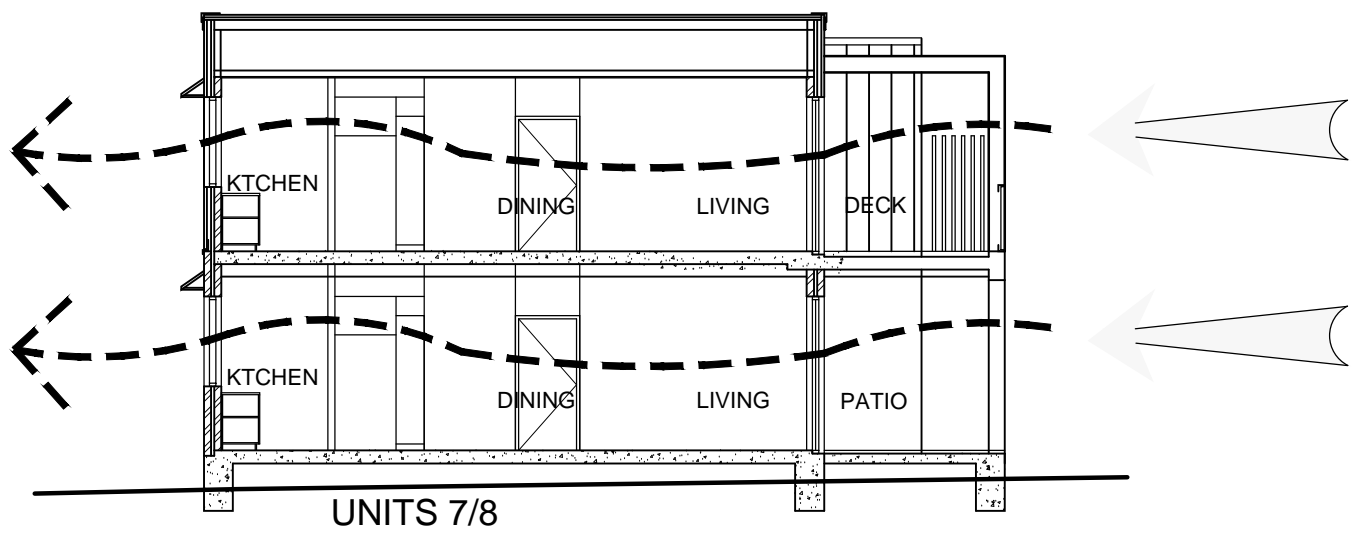
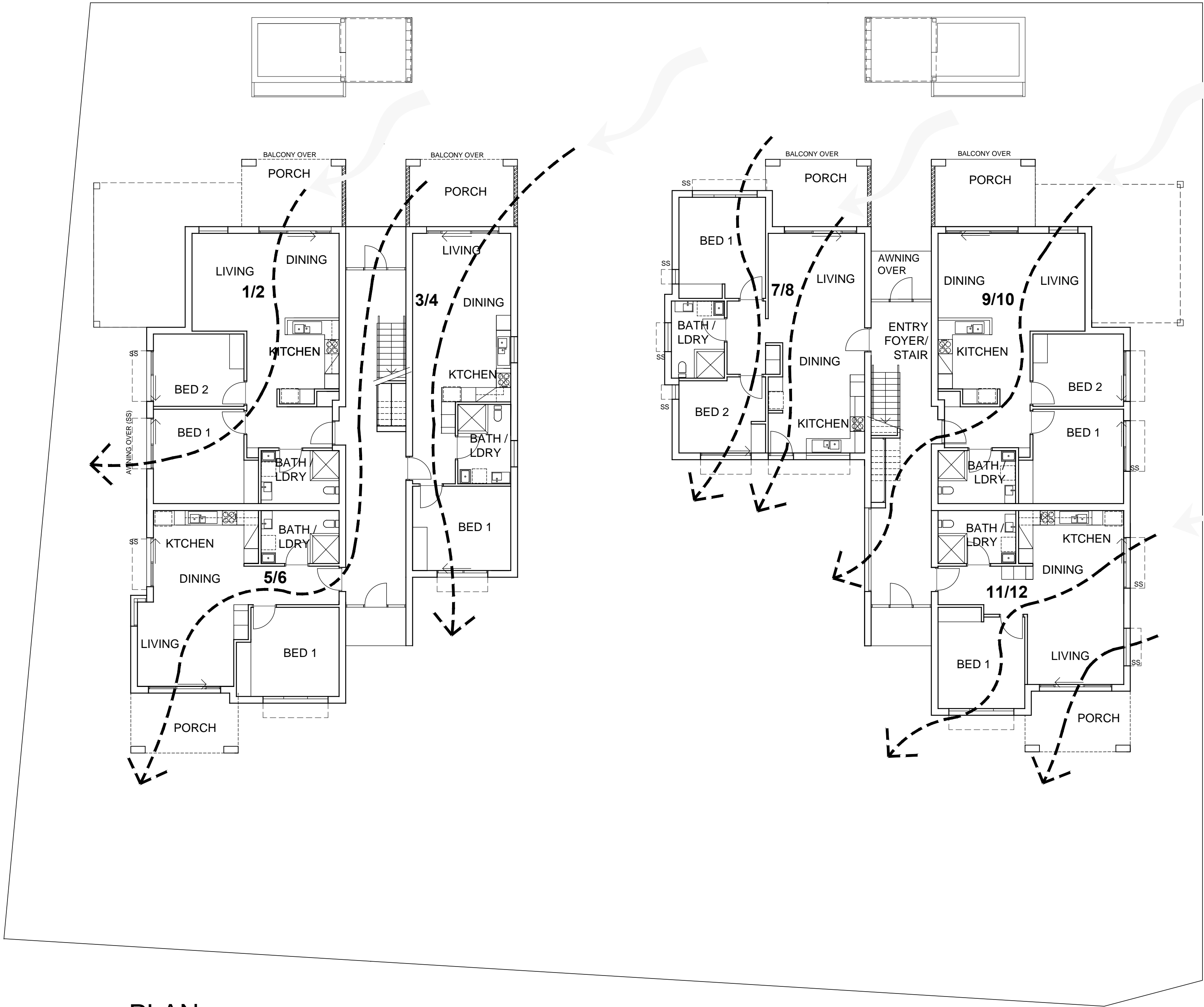


2PM 21ST JUNE



3PM 21ST JUNE

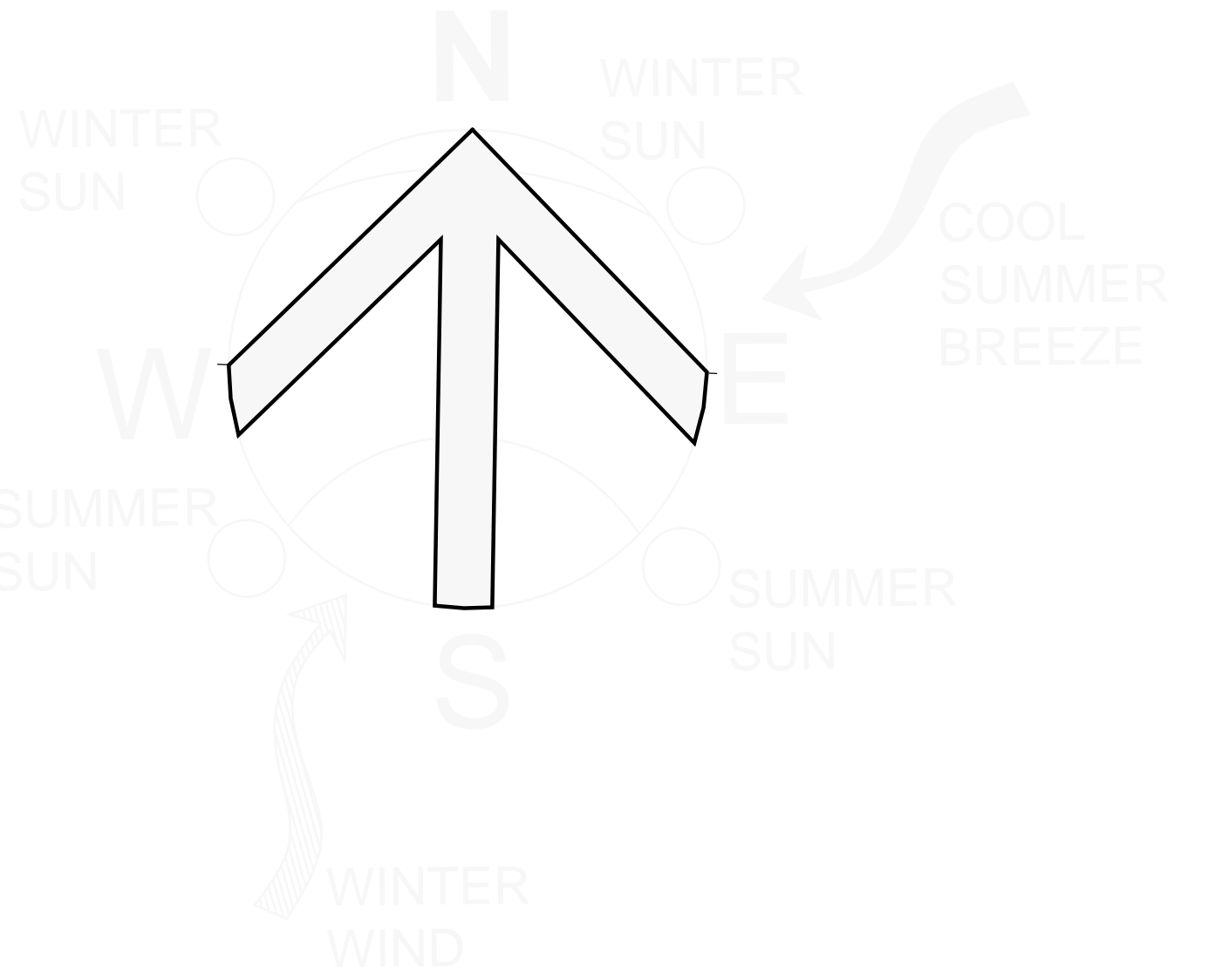
BOURKE STREET



SECTION

DIRECTION OF COOL
SUMMER BREEZE

PATH OF BREEZE
THROUGH DWELLING



PLAN

SCALE

0 1 2 3 4 5 10 20
METRES



NORTH



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REV	DATE	NOTATION/AMENDMENT
-	-	-
-	-	-
-	-	-
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ARCHITECT Barry Rush & Associates Pty Ltd PH (02) 9555 8020	CIVIL CONSULTANT ACOR CONSULTANTS PTY LTD PH (02) 4324 3499
PROJECT MANAGER LAND & HOUSING CORPORATION PH (02) 8753 9000	STRUCTURAL CONSULTANT
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NORTH PARRAMATTA
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TITLE: CROSS VENTILATION DIAGRAM		STATUS: DA	
DATE: 28/11/22	SCALE: NTS	PROJ: -	PROJECT NO: BGXWW
STAGE: LP	DRAWN: LP	CHECKED: BR	HOWARD ARCHITECT
FILE: DAa COVER BLOCK 3DI Bourke St N Parramatta.dwg	PLOTTED: 28/11/2022 1:21 PM	TYPE: A	SHEET: A16
		REV:	-